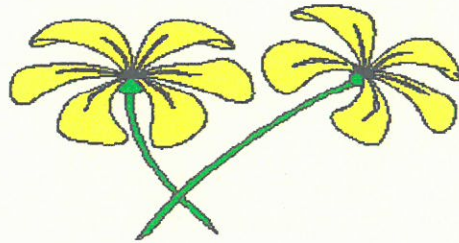
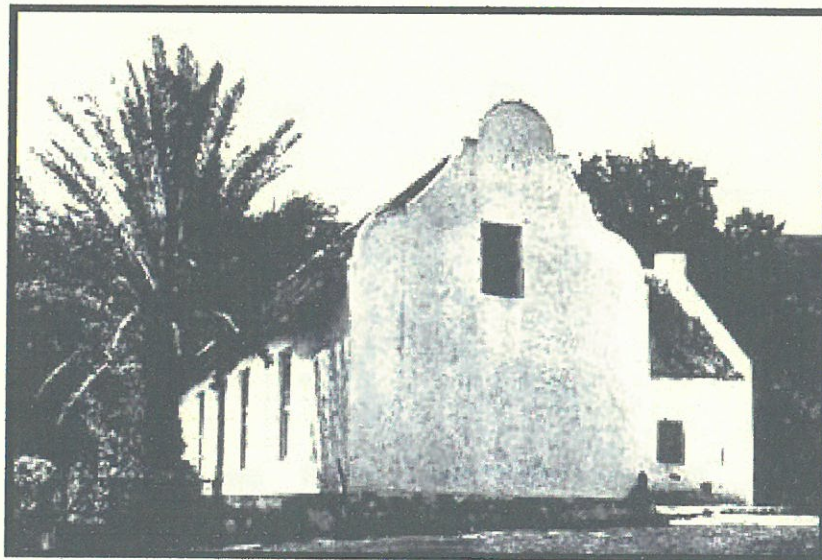


Fairfields

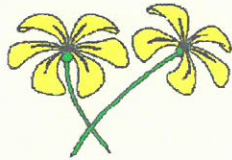


*ARCHITECTURAL
GUIDELINES
FOR
"FAIRFIELDS"*



This Document Was Compiled By M.N. Figoli (0723402917)

Fairfields



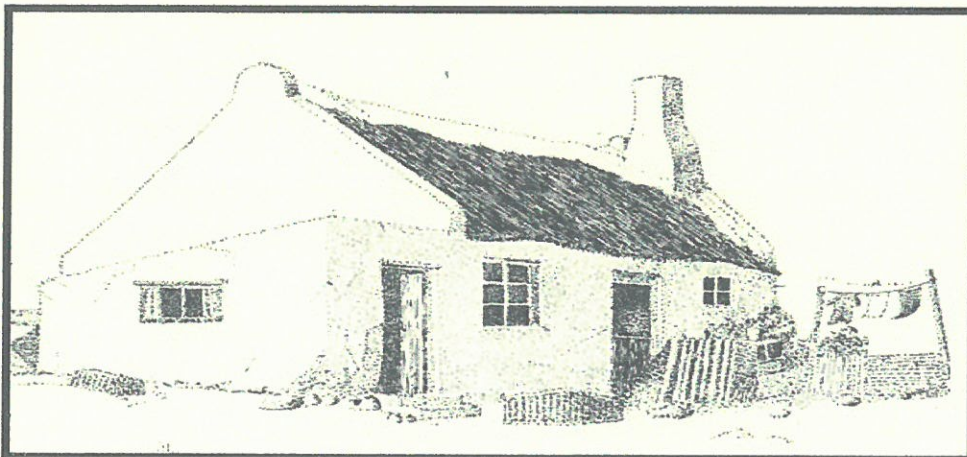
(The Vision)

To offer the city dweller an opportunity to own a piece of yesteryear.

For the discerning person who appreciates the natural beauty of the country, sweltering summer days, beautiful sunsets, rainy winter days, snow capped mountains, easy and simple living.



The purpose of the HOA is to achieve this vision, by ensuring that the site, the homes that are built and the countryside remain natural.

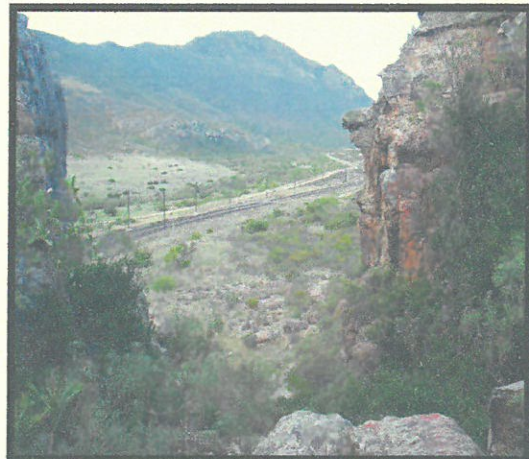


Introduction

Nestled in the Obiekwa valley are nine well positioned plots each of a substantial size offering the city dweller a piece of the country.



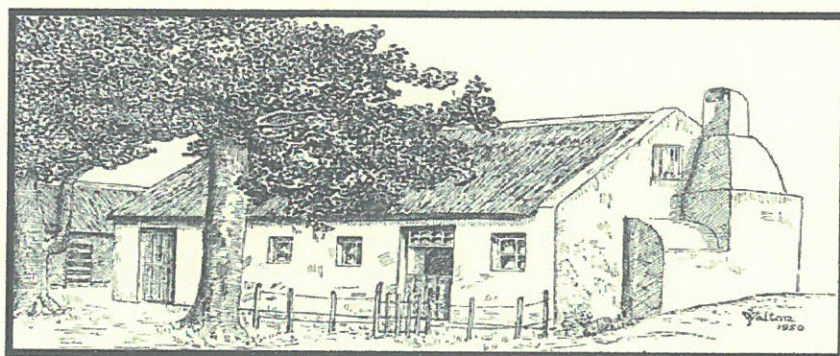
There is plenty of fresh air, open spaces, privacy and magnificent views of the Obiekwa, Voelvlei Mountains and Bushmans Rock,



A train may snake through the countryside now and again to add to the charm and atmosphere of days gone by.

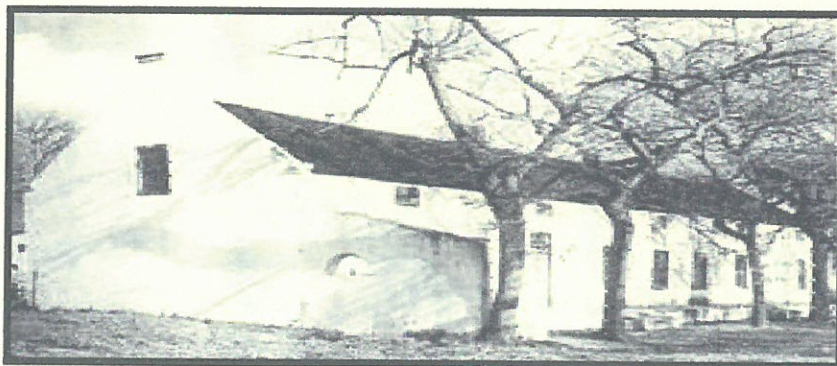
The Theme

The architectural character is to be set by a sensitive and sympathetic attitude to the environment, and an architecture that is influenced by that of the early settlers of the Cape. The emphasis is on uniformity, symmetry and, without using individual variety, simple rectangular forms with refined and robust details. Controlled scale and proportions are recommended in order to achieve a unified domestic architecture.



The traditional architecture of the Cape is a functional vernacular, developed on the basis of the naturally available materials. On this functional basis a deeply human domestic style developed with an expression of quiet repose, simplicity and dignity. It is the spirit of this attitude to place making that the developers would like to emulate.

The photographs and sketches illustrated on this page are intended to act as inspirational material only. The guidelines that follow will detail the specifics of what will or will not be accepted.



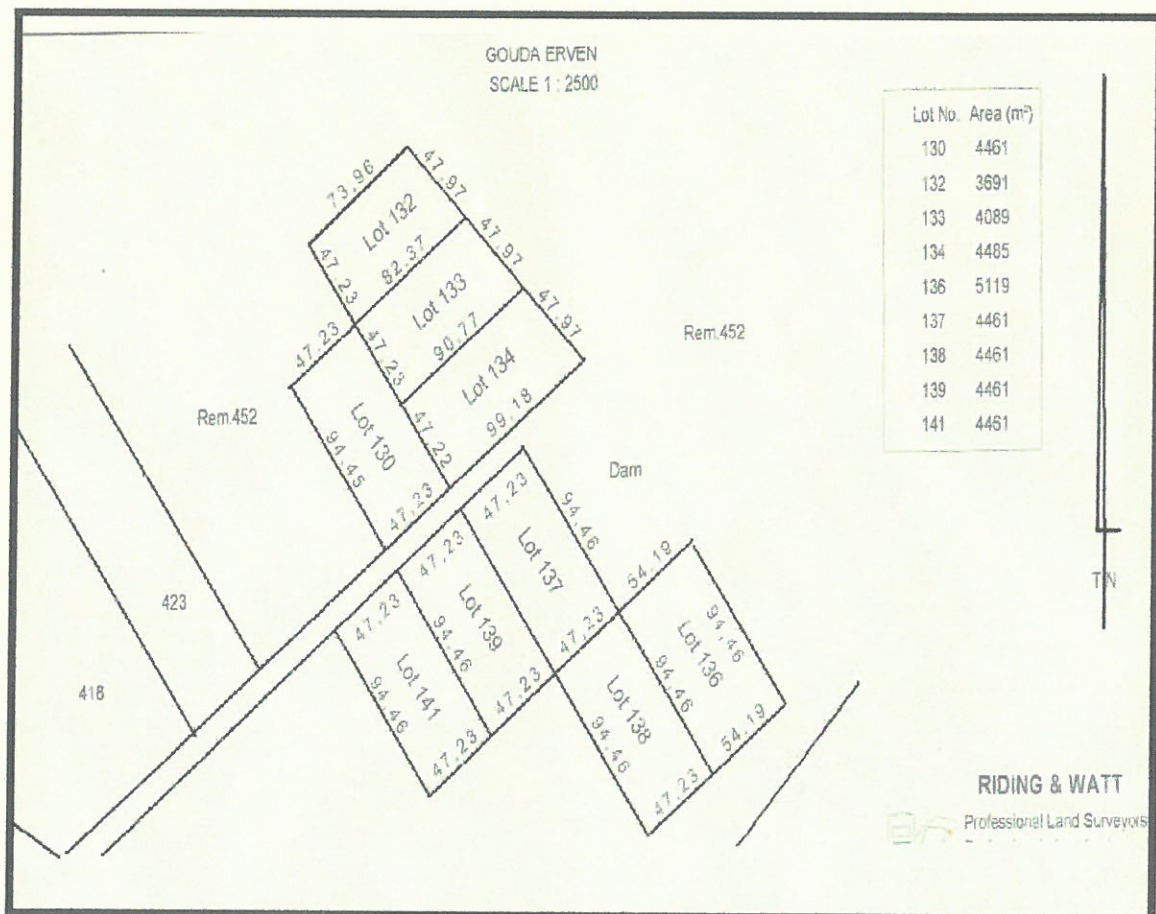
The Site

"Fairfields" is situated in the vicinity (approximately 8 km) of Tulbagh. It lies in the foothills of the Obiekwa Mountains. The south offers views of the Voelvlei Mountains.

Springtime offers an abundance of wild flowers.

The site is perfectly situated in the heart of the Winelands and is within close proximity to Game Parks, Nature Reserves and the Voelvlei Dam.

The Voelvlei Dam offers fishing, swimming and a yacht club.



The Portions

Each plot of approximately a half a hectare in size has been carefully selected to offer the best views. The views are unique, offering views of mountains, a river, rock formations and open spaces.



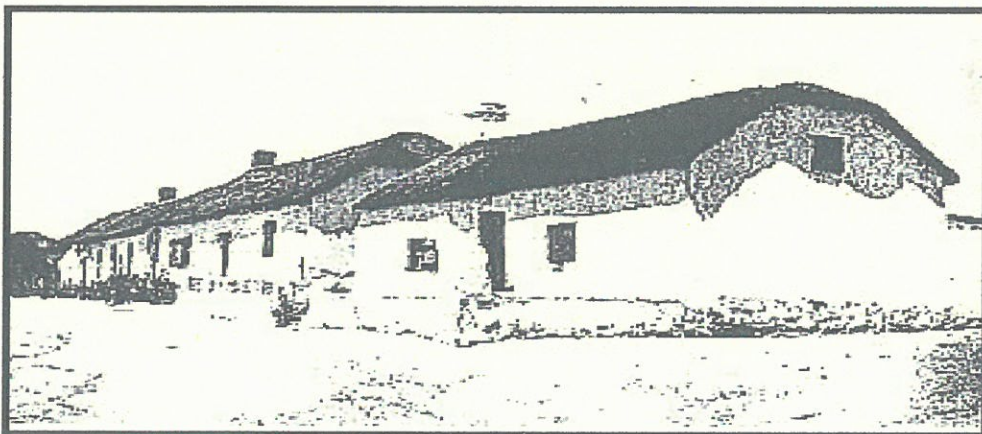
The site also offers abundant bird life, Cape Rock Hyrax (dassies), fynbos and lots of room for country walking.



Guidelines

In general the intention is to restrict the scale, heights, materials and finishes of the dwellings. These restrictions are intended to minimise the visual and environmental impact of any construction. In addition the developers wish to encourage the use of specific formal elements, such as pergolas, stoeps, large hearths and external loft stairs. To this end a simple and concise set of principles, guidelines and controls has been formulated for the development of housing within the scheme.

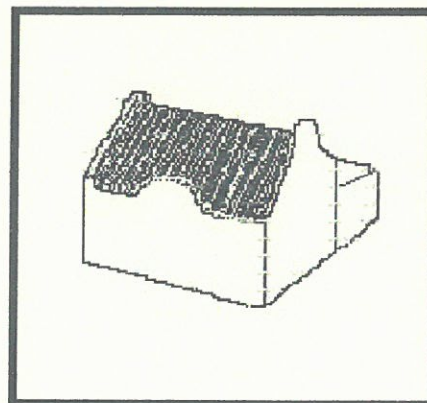
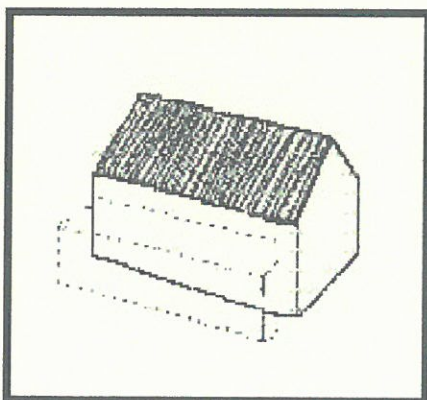
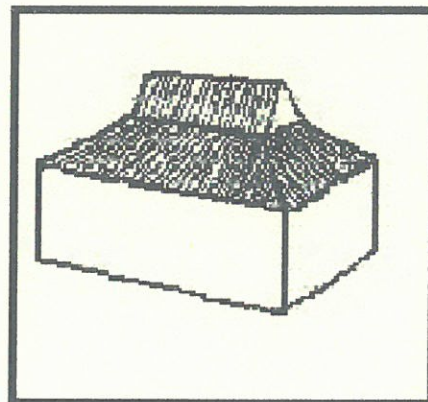
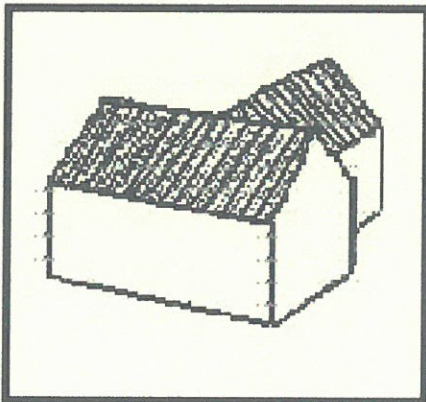
- 1. The building must conform with the criteria set out in these guidelines in addition to municipal or national building regulations.*
- 2. All proposals must be approved by the elected representative of the Homeowners Association.*
- 3. The foot print area of each dwelling is restricted to 150 square metres. This square meterage excludes walls, garages and covered verandahs.*
- 4. Ideally to ensure maximum privacy, the position of each dwelling should be built from the centre of the portions outwards.*
- 5. Three typical house plans are illustrated at the end of this document. These are intended to serve as example plans only. They have been drawn up to show how the guidelines could be interpreted. Their use is by no means mandatory.*



1. House Forms

House forms are simple pitched, rectangular or composite rectangular.

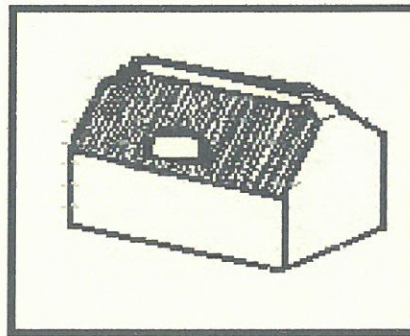
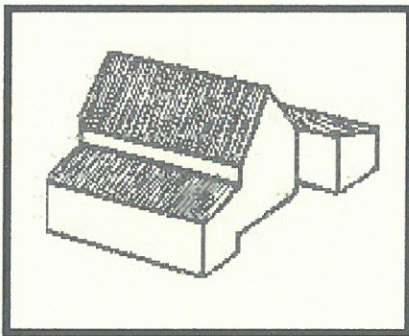
- *Walls are thick masonry and coated with lime plaster.*
- *Roofs are steeply pitched. Lean-tos are flat with parapets. Walk-in hearths are roofed with lime concrete on a timber structure and are plastered and painted like walls.*
- *Window openings are relatively small and are often protected with shutters.*
- *Exposed timber is kept to a minimum and is usually painted.*



1.1 Garages

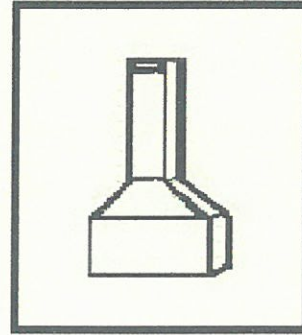
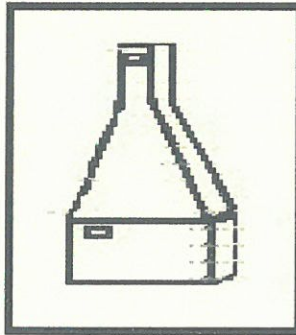
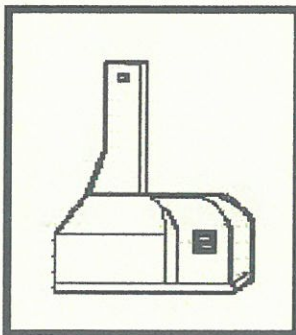
Garages must be attached to the main house. Only single garages are permitted. Carports, in the form of pergolas are encouraged.

Garage doors must be timber and of the hinged barn door type, i.e. no metal roller, sliding or tip-up doors will be permitted.



1.2 Chimneys

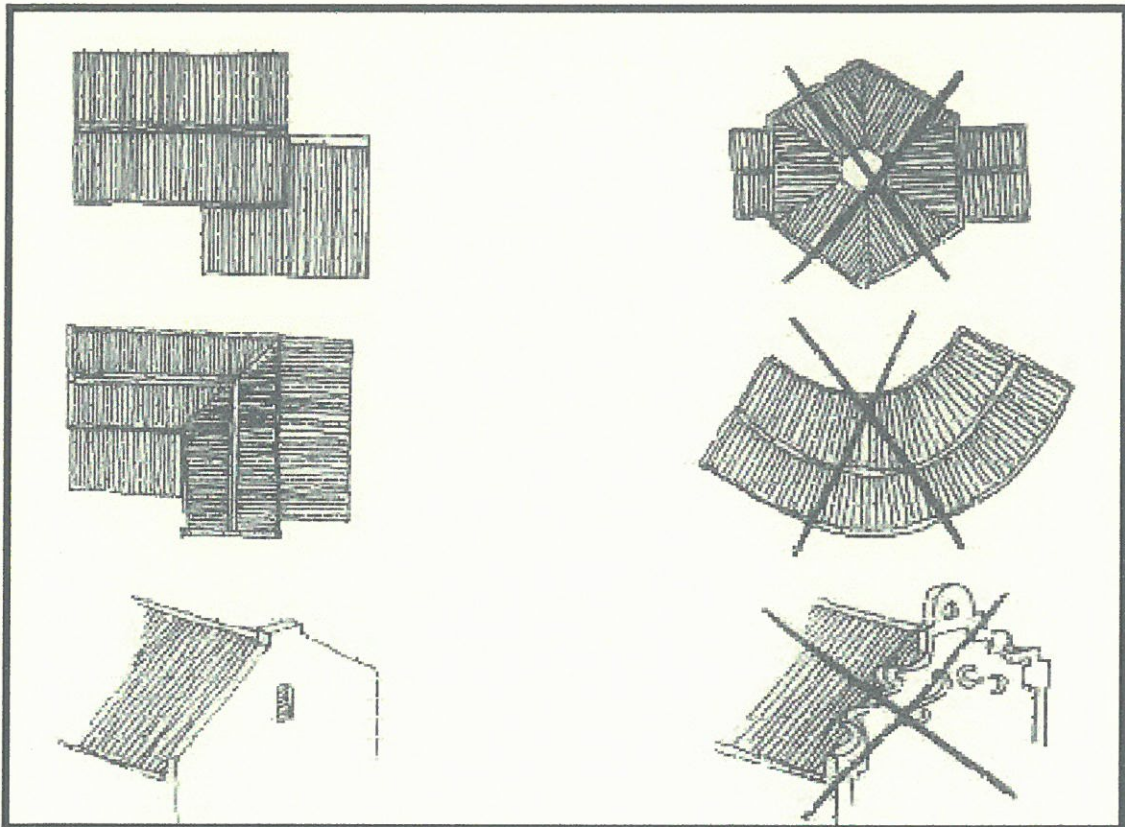
Exposed chimneys are an important formal element in traditional Cape architecture. It is recommended that chimneys be exposed as strong elements on external walls.



2. Roof Forms

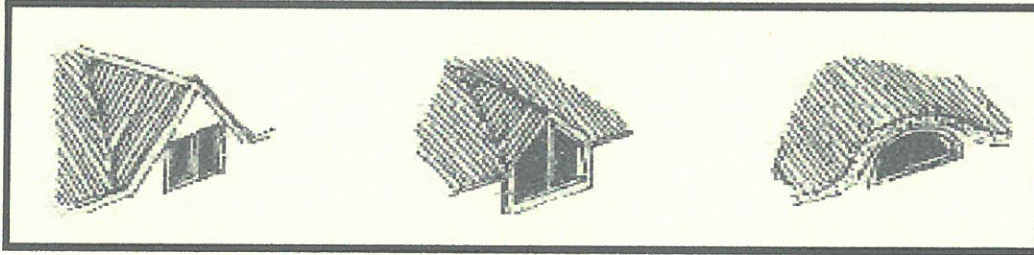
Roof forms play a predominant role in establishing a cohesive architectural language and creating a sense of unity within a development.

- *All roofs must be pitched with a minimum slope of 40 degrees and a maximum slope of 47,5 degrees. Double pitched roofs with a maximum width of 6 metres are recommended. Double pitched roofs over a greater width must be of composite form, i.e. double pitch and lean-to.*
- *Flat or lean-to roofs must have a minimum pitch of 3 degrees and a maximum of 8 degrees. Moulded parapets are required to headwall only.*
- *Verandah roofs must have a minimum pitch of 3 degrees and a maximum of 15 degrees.*
- *All roofs are to have clipped eaves, i.e. overhangs are not permitted.*
- *Gables, where used, must be simple. No curved or decorative gables will be accepted.*



2.1 Dormers

All dormer windows will be subject to approval and it is recommended that their use be limited as much as possible. The types illustrated are preferred. Roof windows are highly recommended where extra light is required.



3. Scale and Proportion

Heights

- Building heights are restricted to a maximum of 5.5 metres from the finished floor level to centre point between eaves and ridge. (Sketch below Fig 1).
- The main body of the house must follow the contour and the finished floor level may not be higher than a maximum of 0.5 metres above natural ground line.
- Any secondary wings which do cross the contour (for example, an L-shaped house) may not be higher than 1 metre above natural ground line. This restriction is intended to prevent very high plinths which can cause an overscaled height to width proportion. (Sketch below Fig 2).

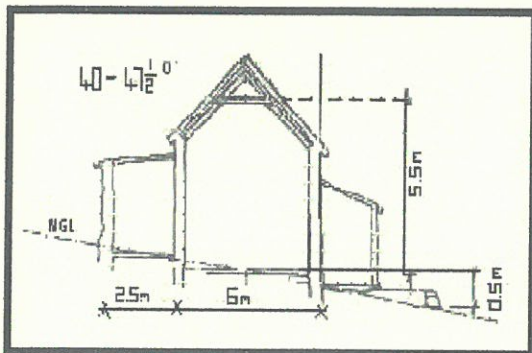


Fig 1.

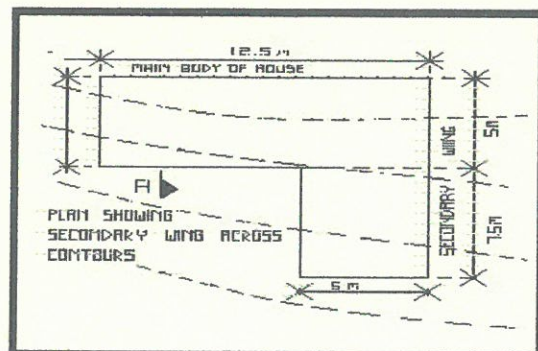


Fig 2.

Widths

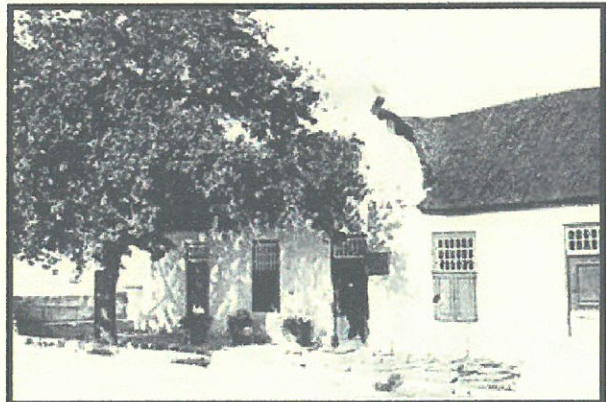
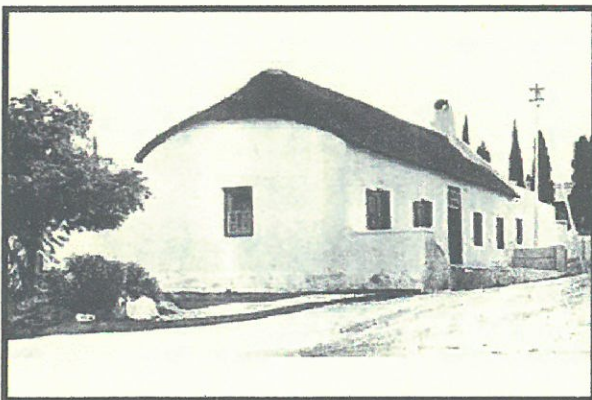
Width for double pitched roofs, between 40 degrees and 47,5 degrees, is restricted to 6 metres (5 metres is recommended). House width can be increased by the addition of a lean-to, with a maximum depth of 2,5 metres.

Area

The permitted square meterage of each house is restricted to 100 metres square net. Extra space can be gained by creating lofts in the roof.

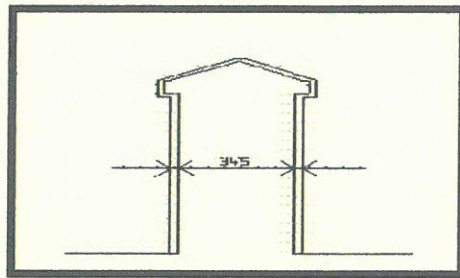
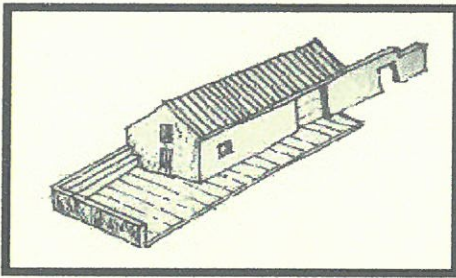
4. Miscellaneous

- *Common water connection points will be supplied wherefrom pipes must be laid to the individual dwelling.*
- *Rain water tanks are encouraged for their sound use of natural resources and the rural charm they can add to the dwelling.*
- *Strategic electrical poles will be supplied and the Purchaser is to provide underground electrical cabling from such connection points.*

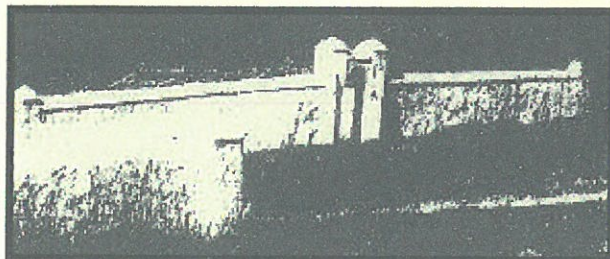
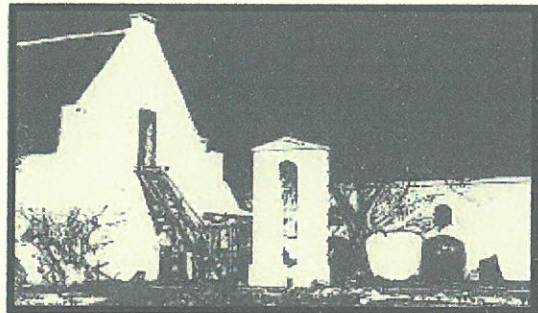
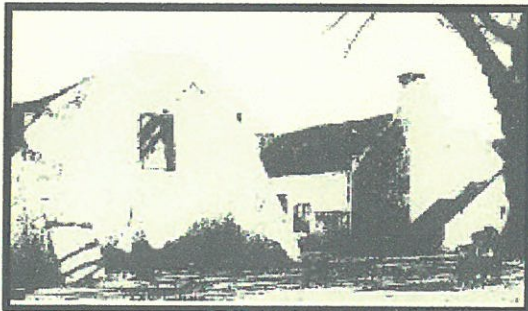


5. Elements

- Braai areas must be attached to the house itself or they may be situated as part of an extended terrace area which may be enclosed with low walls as illustrated.
- Pergolas are encouraged and must be constructed to screen larger windows or french doors from direct visibility, as seen from outside. Columns are to be of heavy masonry (min 350 x 350) or painted square timber posts. Climbing plants are encouraged.

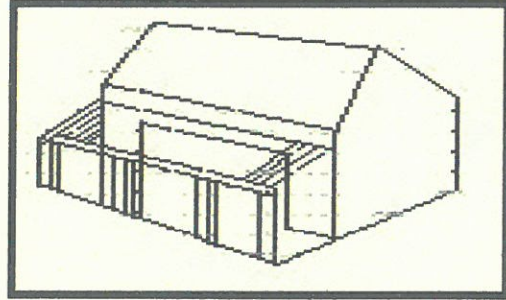
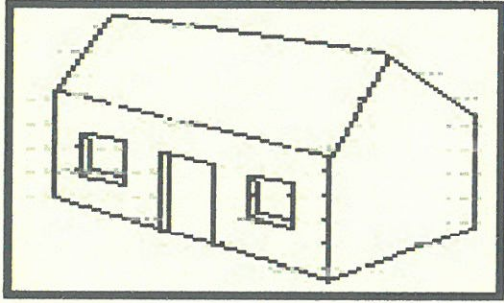


- Low walls, to a maximum height of 1.6 metres will be permitted to give shelter to braai areas and terraces. Such walls may not extend more than 6 metres beyond house. These walls must be of thick masonry, plastered, with traditional capping.
- External stairs form a sculptural counterpoint to the barn shape. These stairs can be of heavy masonry, or of lightweight timber construction.



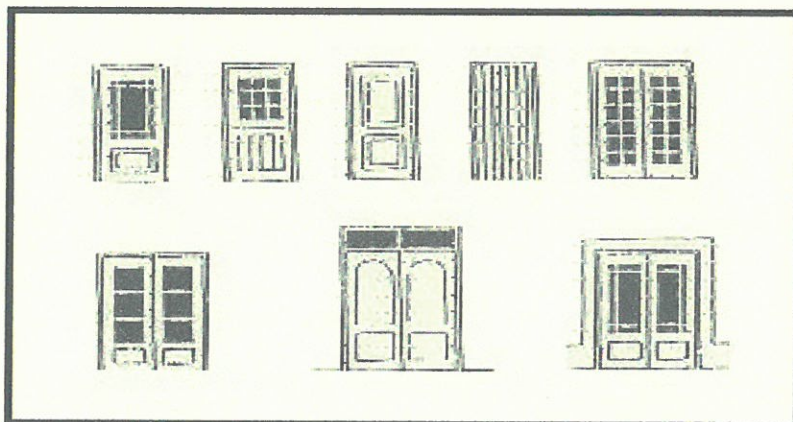
7. Openings

Openings in walls carrying pitched roofs are restricted to vertically proportioned windows and doors. When a verandah, pergola or lean-to is added these walls are classified as internal and therefore openings are not restricted. Refer to diagrams below.



7.1 Doors

- *The shape and proportions are controlled, as suggested by the diagram below.*
- *Large glazed doors are permitted if set back under a verandah or pergola of minimum 2.5 metres depth. In addition, sliding timber shutters are recommended.*
- *Only timber doors will be permitted. All external surfaces are to be painted (*).*
- *Garage doors are to be timber barn type doors.*



() Colours are to be matt black or traditional green.*

6. Materials and Finishes

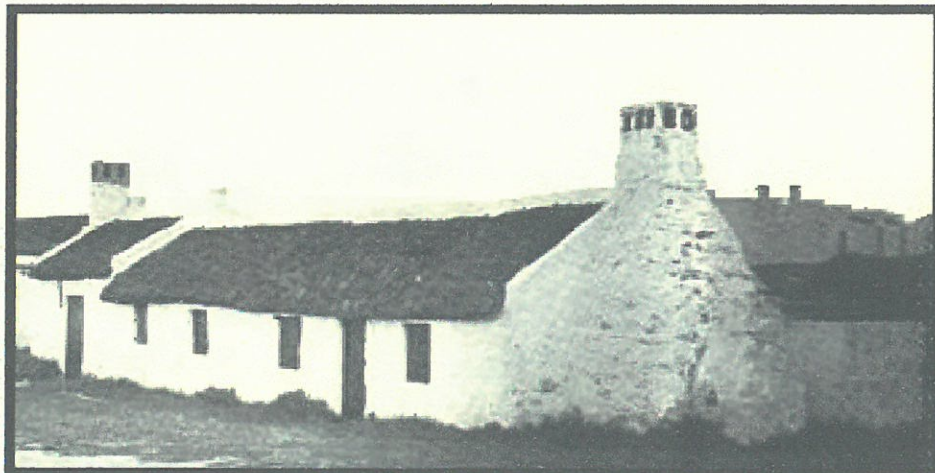
Walls

Walls are visually the most important element of Cape vernacular architecture.

- *All external walls must be masonry, plastered with an integrally coloured plaster. The colour used in the plaster must be obtained from natural oxides. Colours ranging from yellow ochre to oxblood will be permitted.*
- *The slightly roughened texture of traditional lime plaster should be emulated. This type of finish is commonly known as country plaster. Excessive texturing, such as Spanish plaster, will not be permitted.*
- *Plinths and simple mouldings to gable and parapet walls are recommended. Plinths higher than 0,5 metres must be battered. Plaster bands around windows are not permitted.*

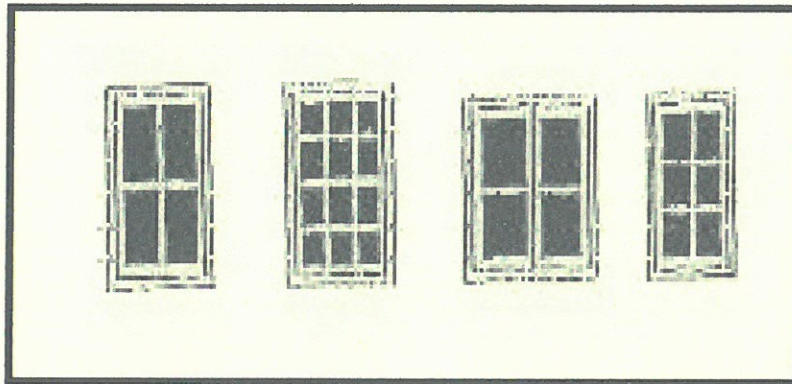
Roofs

- *Only Victorian profile fibre cement or corrugated iron will be permitted.*
- *All materials must be painted charcoal grey or traditional green.*

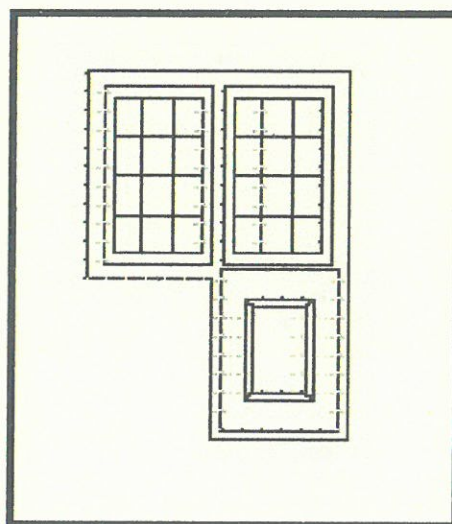


7.2 Windows

- *The shape and proportions, as suggested by the diagrams. Traditional forms are recommended.*
- *Only timber will be permitted. All external surfaces are to be painted (*).*
- *It is recommended that windows be set flush with the external surface of the wall and that internal reveals be chambered. This traditional detail serves the practical purpose of enhancing the light penetration into the dwelling.*

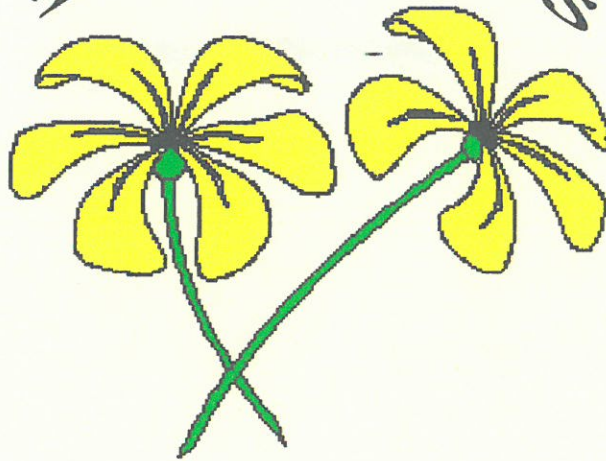


Note: Much of the character and quality of Cape vernacular architecture comes from the fine detailing of windows and doors. Timber sections should be much more robust than is common today. Inward opening casement windows with shutters can add a quality which will make these simple dwellings special.



() Colours are to be matt black or traditional green.*

Fairfields



Typical House Plans

The following house plans are intended to serve as example plans only. They have been drawn up to illustrate how the guidelines could be interpreted.

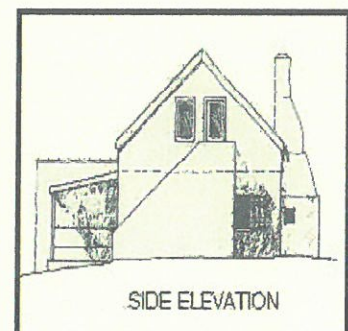
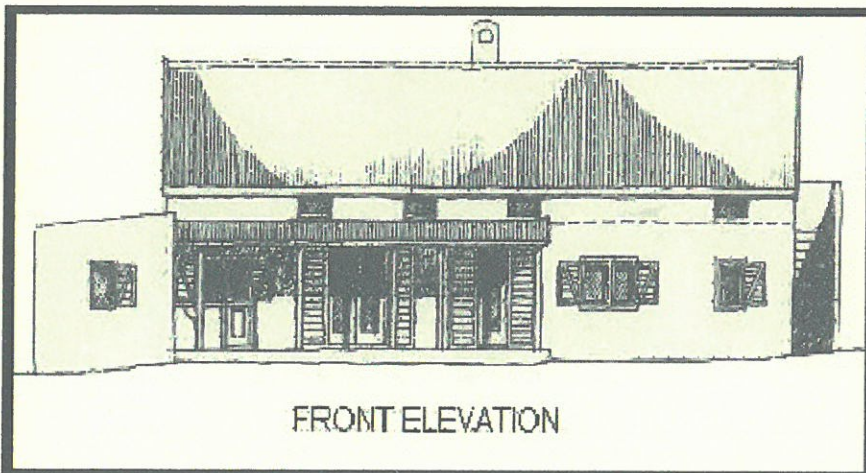
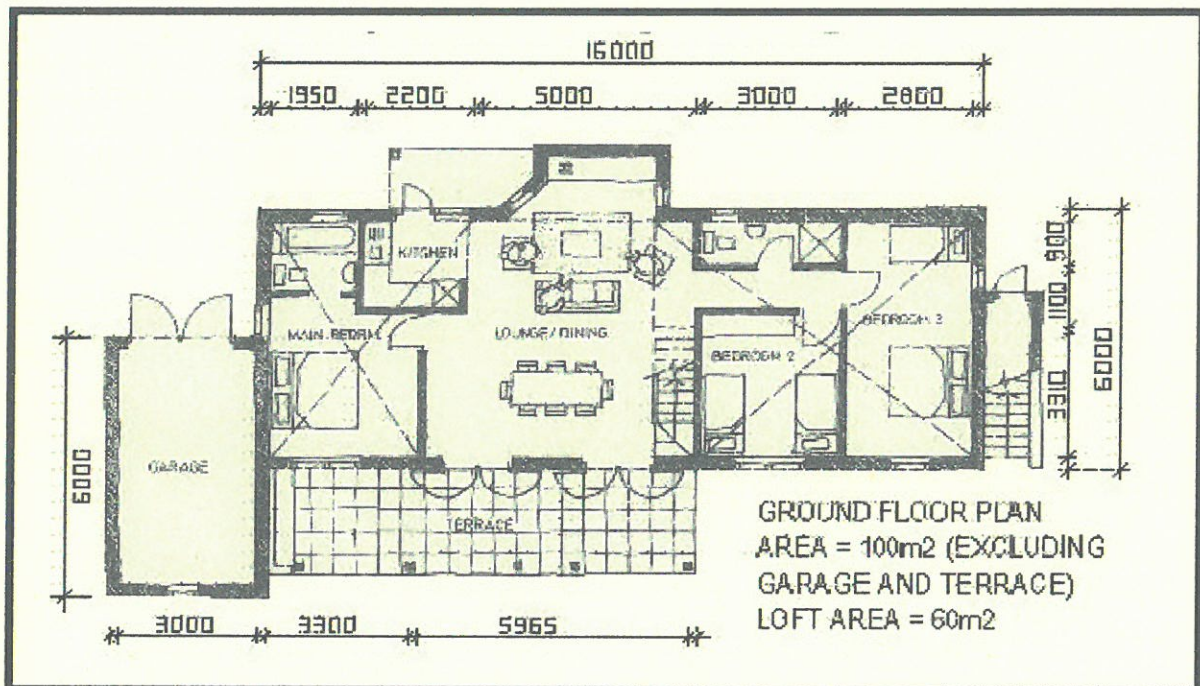
Architect

*Steven Boers
13 Rugby Road
Oranjezicht*

Tel: (021) 4622412

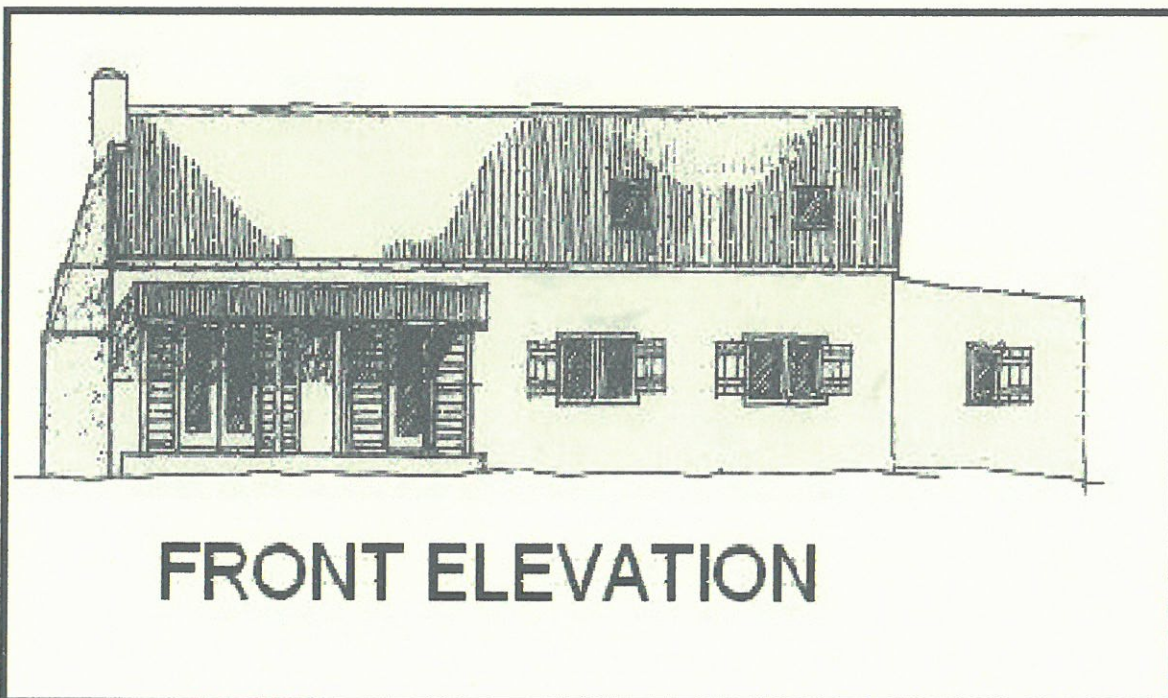
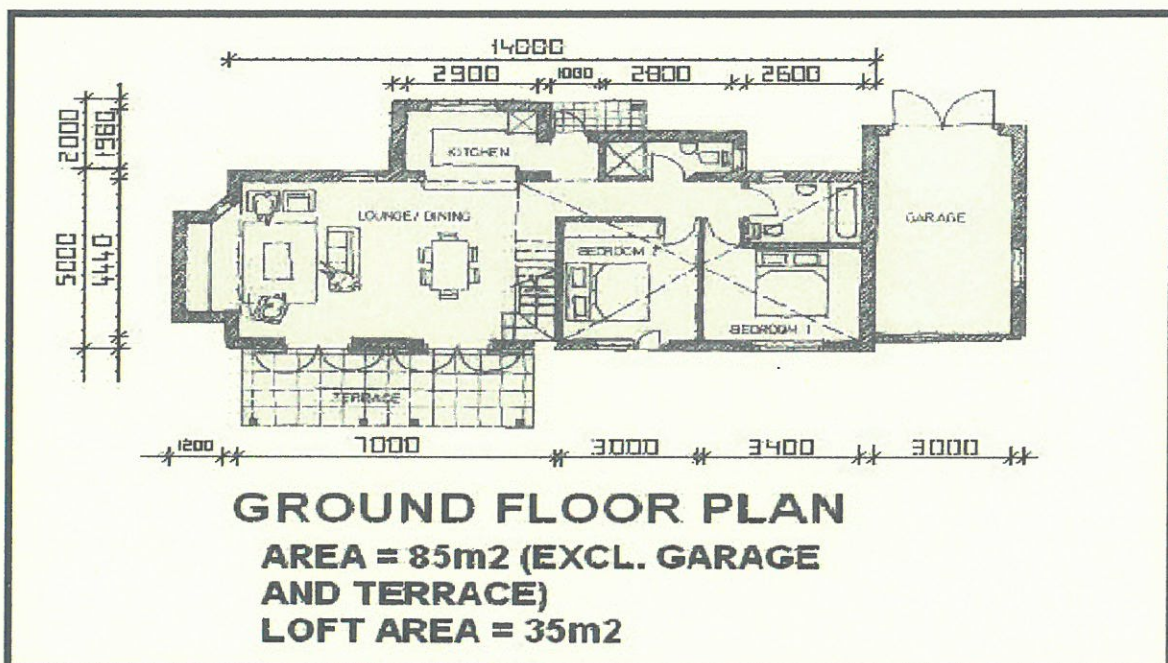
House Type A

- This charming 3 bedroom cottage has a large covered verandah and braai area.
- The walk-in hearth from the centrepiece of the entertainment area which is double volume with exposed roof trusses and top lighting from high windows.
- There are 2 loft spaces. The main loft is accessed by an internal stair. The external stair adds charm to the elevation.
- The second loft is above the main bedroom. Access is gained by a simple ladder fixed to the wall of the dining area.



House Type B

- This plan is modelled on Type A. The hearth has been moved to the end wall, and the kitchen moved into a lean-to.
- It has two double bedrooms and large loft space. Extra light is gained for the loft by using roof windows.
- The large glazed double doors are shielded under a simple verandah roof. In addition they have sliding timber shutters which add detail and colour to the elevation.



House Type C

- This quaint cottage is the smallest of the three.
- It has one main bedroom and a tiny verandah bedroom.
- Extra sleeping or studio space is gained by the loft over the kitchen area.
- The verandah is deeply recessed, offering the perfect spot to survey the beautiful surroundings.

