

GROUND STOREY LAYOUT 1:50

NOTES
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NO.	DATE	DESCRIPTION

OWNERS SIGNATURE

ARCHITECT'S SIGNATURE

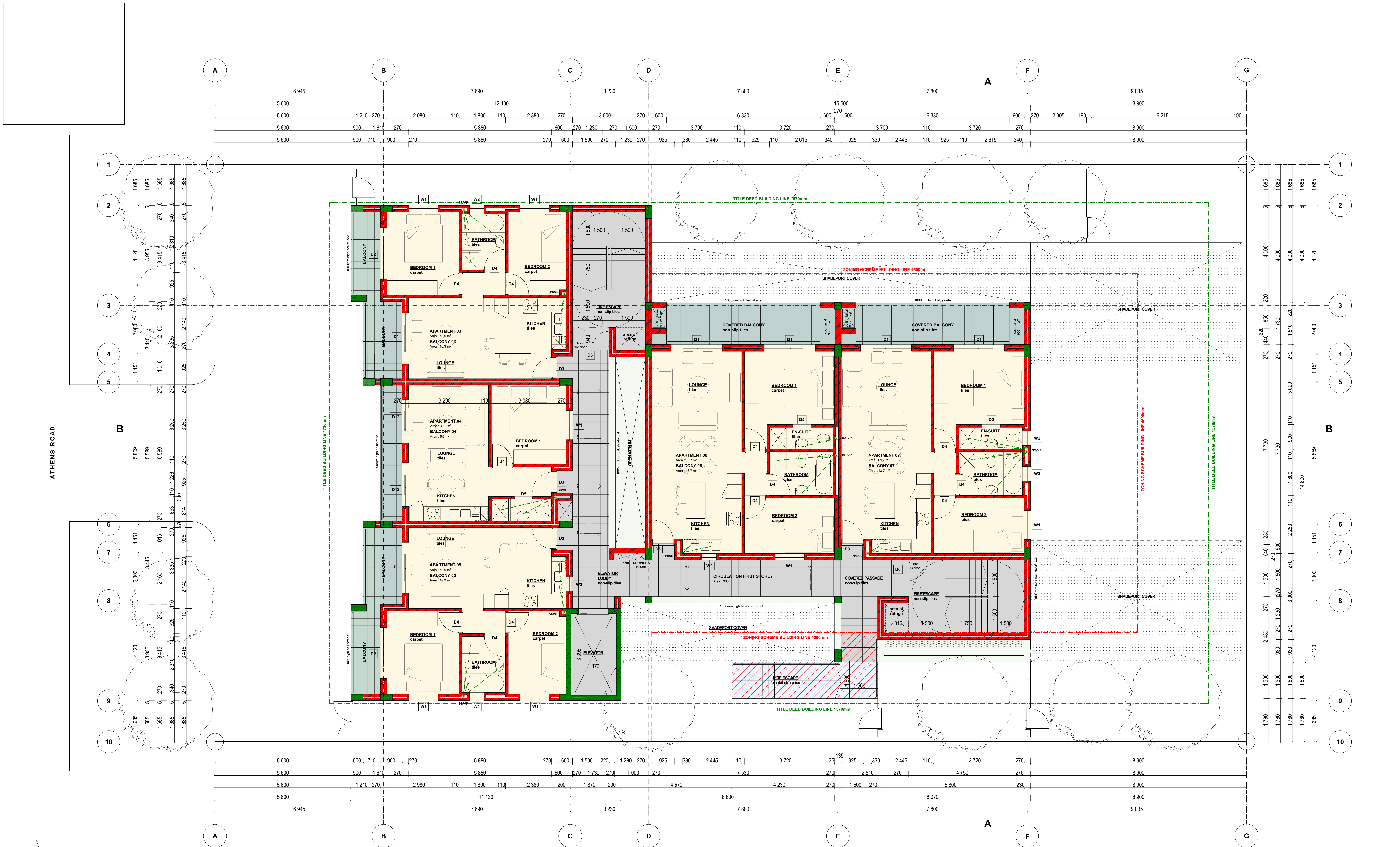
ARCHITECT
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 ARCHITECTS
 1011 1, East Face, Heritage Square,
 101 West & Brixton Streets,
 Durbanville 7858
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 SACAP REG. NO. 3719

PROJECT
SPERANTA APARTMENTS

PROJECT
 Proposed new residential development on Erf 4634, Athens road, Table View for Nicka Beleggings

DESCRIPTION
GROUND STOREY LAYOUT

DATE	2018-06-28	SCALE	1:50 on A0, 1:100 on A2
SKETCH	X	PRELIMINARY	TENDER
DRAWN	C BAMBERGER		
CHECKED	C BAMBERGER		
		DRAWING	1475-100



FIRST STOREY LAYOUT 1:50

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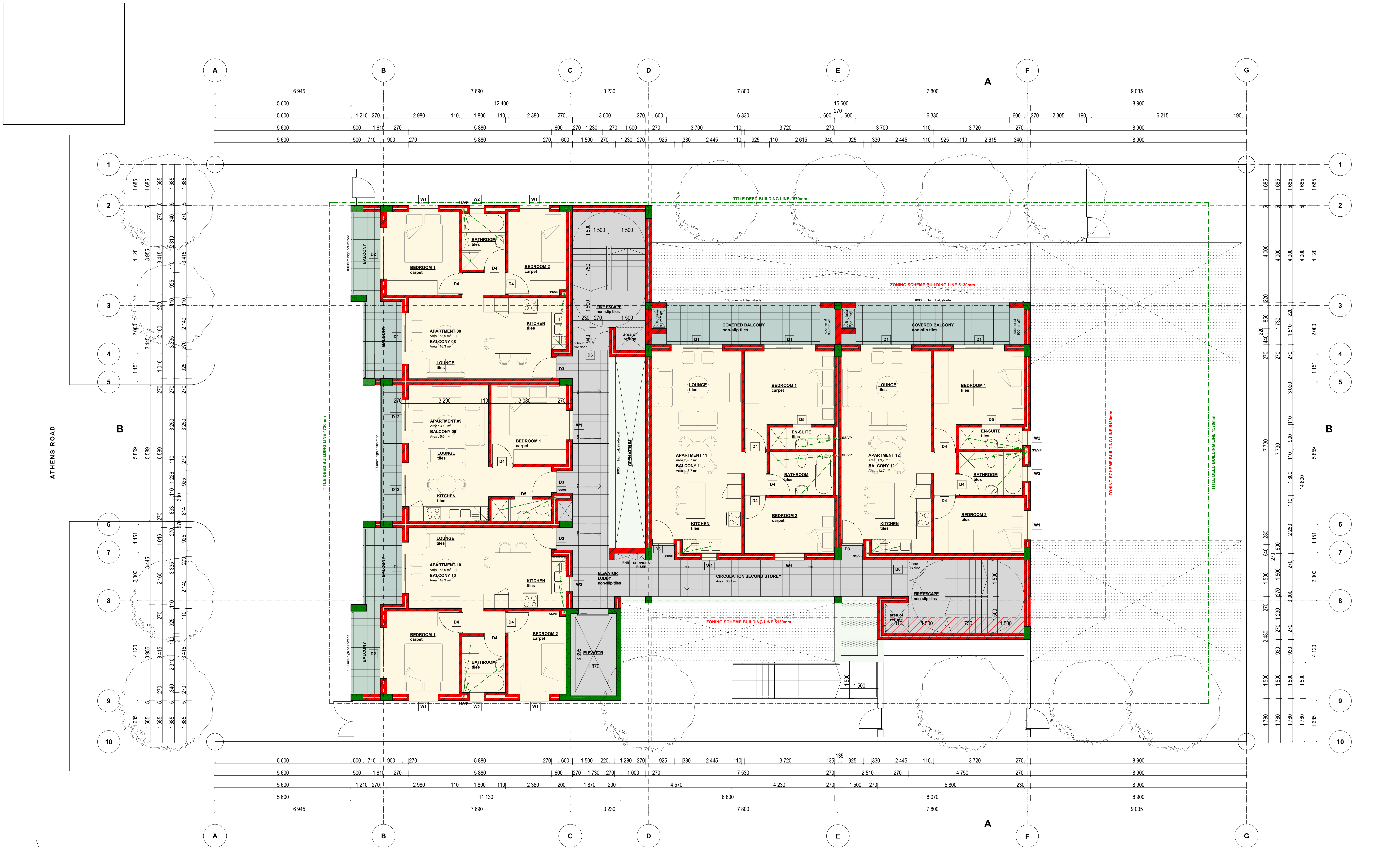
ARCHITECT
 0011, East Face, Air Rage Square,
 101 West & Balfour Streets,
 Durbanville 7801
 021 551 9131
 021 551 9132
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 SACAP REG. NO. 370

PROJECT
SPERANTA APARTMENTS

PROJECT
Proposed new residential development on Erf 4634, Athens road, Table View for Nicka Beleggings

DESCRIPTION
FIRST STOREY LAYOUT

DATE	2018-06-28	SCALE	1:50 on A0, 1:100 on A2
SKETCH	X	TENDER	COUNCIL
DRAWN	C BAMBERGER	DRAWING	1475-101
CHECKED	C BAMBERGER		



SECOND STOREY LAYOUT 1:50

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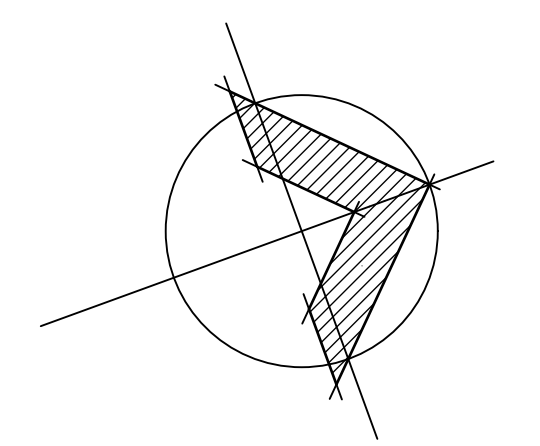
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 SACPO REG. NO. 379

PROJECT
SPERANTA APARTMENTS

PROJECT
 Proposed new residential development on Erf 4634, Athens road, Table View for Nicka Beleggings

DESCRIPTION
SECOND STOREY LAYOUT

DATE	2018-06-28	SCALE	1:50 on A0, 1:100 on A2
SKETCH	X	TENDER	
DRAWN	C BAMBERGER	DRAWING	1475-102
CHECKED	C BAMBERGER	A	





THIRD STOREY LAYOUT 1:50

AREA CALCULATIONS :

	FLOOR FACTOR		TOTAL
	INCLUDED	EXCLUDED	
GROUND STOREY LEVEL			
APARTMENTS :	109.4 sqm		109.4 sqm
PATIOS / BALCONIES :		20.6 sqm	20.6 sqm
CIRCULATION AREAS :	52.3 sqm		52.3 sqm
REFUSE ROOM :	0.0 sqm		0.0 sqm
VEHICULAR AREAS :		278.5 sqm	278.5 sqm
TOTAL :	161.7 sqm	299.1 sqm	460.8 sqm
FIRST STOREY LEVEL			
APARTMENTS :	287.0 sqm		287.0 sqm
PATIOS / BALCONIES :		52.6 sqm	52.6 sqm
CIRCULATION AREAS (incl. walkways) :		90.6 sqm	90.6 sqm
REFUSE ROOM :	0.0 sqm		0.0 sqm
TOTAL :	287.0 sqm	143.2 sqm	430.2 sqm
SECOND STOREY LEVEL			
APARTMENTS :	287.0 sqm		287.0 sqm
PATIOS / BALCONIES :		52.6 sqm	52.6 sqm
CIRCULATION AREAS (incl. walkways) :		86.1 sqm	86.1 sqm
REFUSE ROOM :	0.0 sqm		0.0 sqm
TOTAL :	287.0 sqm	138.7 sqm	425.7 sqm
THIRD STOREY LEVEL (ALTERNATIVE)			
APARTMENTS :	287.0 sqm		287.0 sqm
PATIOS / BALCONIES :		38.6 sqm	38.6 sqm
CIRCULATION AREAS (incl. walkways) :		86.1 sqm	86.1 sqm
REFUSE ROOM :	0.0 sqm		0.0 sqm
TOTAL :	287.0 sqm	124.7 sqm	411.7 sqm
TOTAL FLOOR FACTOR	1022.7 sqm		
TOTAL FLOOR AREA			1728.4 sqm

ZONING CALCULATIONS :

SITE AREA :	1 010.0 sqm
FLOOR FACTOR AREA :	1 022.7 sqm
FLOOR FACTOR :	1.01
COVERAGE AREA :	460.8 sqm
COVERAGE RATIO :	45.6 %

PARKING CALCULATIONS :

PARKING REQUIRED : (1.25 bays per unit x 17 Units)	22 BAYS
PARKING PROVIDED :	22 BAYS

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OWNERS SIGNATURE
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 001 1, East Face, Heritage Square,
 101 Water & Electric Streets,
 Durbanville 7801
 021 913 831
 021 913 832
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 SACREP REG. No. 379

PROJECT
SPERANTA APARTMENTS

PROJECT
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DESCRIPTION
THIRD STOREY LAYOUT

DATE	2018-06-28	SCALE	1:50 on A0, 1:100 on A2
SKETCH	X	TENDER	COUNCIL
DRAWN	C BAMBERGER	DRAWING	1475-103
CHECKED	C BAMBERGER		



NORTH ELEVATION 1:50



EAST ELEVATION 1:50

OUTLINE SPECIFICATIONS:

- EXCAVATIONS:**
- 1.1 Site Clearance:**
All natural vegetation to be removed from areas to be built upon.
 - 1.2 Setting out:**
The Contractor will set out the building works in accordance with the drawings and will indemnify the Owner from any extra expense due to incorrect setting out. Any discrepancies must be reported to the Architect prior to undertaking any trenching. Only figured dimensions are accepted.
 - 1.3 Footings and Drainage:**
Excavate as required for all footings and drainage as shown on the approved plan and to meet the requirements of the Local Authority.
 - 1.4 Levels:**
Final FFL as per Architect's drawings. Floor levels to generally be minimum 150mm above finished ground level, unless otherwise specified by the Architect or indicated on the drawings. Any apparent discrepancy between the site and indicated levels must be reported to the Architect prior to commencing work. The datum to be used will be confirmed on site at hand over. Allowance must also be made for foundation brackwork around external terraces and patios as it may rise, or as can be reasonably anticipated from the tender drawings. As the ground conditions are currently unknown, allowance should be made to import ground fill.
 - 1.5 Top soil:**
All topsoil must be removed from the area to be built upon, and set-aside for use in site works later.
 - 1.6 Stumps and Rocks:**
Where stumps or large rocks are removed the hole must be filled and well consolidated in layers before being built on. Backfill soil must be free of building rubble and natural vegetation.
 - 1.7 Contractors to familiarize themselves with the soil conditions on site.**
 - 1.8 The Architect to be informed on any unusual sub-soil conditions.**
- CONCRETE, FORMWORK AND REINFORCEMENT:**
- 2.1 Materials:**
Sand and stone to be clean and free from organic matter. Cement to be SABS approved Portland Cement.
 - 2.2 Concrete:**
All concrete is to be placed in position as soon as possible after mixing.
- SUPERSTRUCTURE:**
- 3.1 Masonry Walls:**
Foundation & superstructure walls to comprise of well-burnt NF3 clay bricks. Samples to be supplied for approval prior to commencement of superstructure.
 - 3.2 External Walls:**
270mm (refer drawings for dimensions) cavity built in two skins of 110mm and a 50mm cavity. Skins tied together with 12g Butterfly wire ties, 3 ties per m² constructed. Stopped DPC membrane at floor level and over all external limits. Weep holes at 1 meter centres or at least 2 per inlet (for taller weep holes to be symmetric above openings).
 - 3.3 Internal walls:**
110mm and 200mm (refer drawings for dimensions) constructed off footings as described in 3.3 and 3.1. All internal walls to be built to be beam of trusses or underside of roof covering, unless otherwise indicated on Architect's drawings.
 - 3.4 Retaining Walls:**
All retaining wall to Engineer's details & specification.
 - 3.5 Construction and Control Joints:**
Where applicable construct joints in brickwork as indicated on Architect's drawings. Joints to be 10mm distance, with strip hoop rods every 4th course to pass through joints, but in 300mm either side of joint. Seal exposed joints with 10mm Polysulphide bead either side.
 - 3.6 Mortar Mixes:**
Brickwork will be laid in B1 cement mortar, to the thickness and dimensions indicated on the plans and to approved bond.
 - 3.7 Ceiling Heights:**
As indicated on the Architect's drawings.
 - 3.8 External Lintels:**
To be pre-stressed concrete lintels to the required width of the wall over all openings. Allow for a min. 200mm projection for the pre-stressed concrete lintels to be covered with wire mesh before plastering to prevent hairline cracks.
 - 3.9 Internal Openings:**
Pre-stressed concrete lintels over door frames and all other openings in brickwork. Cover the projection of the pre-stressed concrete lintels with wire mesh before plastering. The projection to be at least 150mm, except for 90° connections with 50mm walls.
 - 3.10. Beam FFL:**
To be done on all external walls and between Units as indicated on Architect's Sections.
 - 3.11 External Sills:**
Will consist of the outer skin of the cavity wall, with necessary DPC membrane under and plastered to positive fall as per Architect's detail.
 - 3.12. Frames:**
Build in door and window frames as shown on plans. Contractor to allow for soft joints around all window and door frames.
 - 3.13. All Construction Joints:**
Externally and internally to be filled with "Acryseal" by Sika Waterproofing Systems (or similar approved) and painted over.
- WATERPROOFING:**
- 4.1 Concrete Surface Beds:**
Place 200 micron SABS approved polyethylene damp-proof membrane under concrete floors. All joints to be overlapped and properly lapped together.
 - 4.2 Walls:**
Place 375 micron SABS approved polyethylene damp-proof membrane to full thickness of walls, lapped 150mm at ends and cross intersections. The same membrane is to be laid to full width over all heads of openings and under all windowsills, to the sides of all windows, and a minimum 150mm strip to be built across all vertical cavity closes.
 - 4.3 Roof Sills & Balconies:**
All reinforced concrete roof sills to be waterproofed with Deribagum SP4 Water Proofing Membrane applied in accordance with Manufacturer's specs, painted, covered with brown stone chips. All balcony sills & terraces to receive Centiflex (as supplied by Sika). Accessories by approved applicator to manufacturer's specifications. Unifluid 650 with Geoflex system (or similar) counter flashing to all slab edges, up stands, copings & parapets.
 - 4.4 Internal Shower Floors:**
Shower floors screeds to be laid to falls. Ground floor and other shower floors and walls to receive Centiflex (as supplied by Sika) and cement painted onto waterproofing membrane as per manufacturer's specification to a height of a 2.0m. Showers flood tested prior to tiling.
- ROOFING:**
- Refer Item 4.3
- RAINWATER GOODS:**
- 6.1** 150mm outlet discharging into 110mm Ø downpipes all by approved supplier. Downpipes to discharge into UPVC under ground piping, installed according to storm water plan.
- CEILING:**
- 7.1** 4mm gypsum ceiling board fixed to 50 x 38mm SAP bracing @ 400mm c/c fixed to underside of trusses as per manufacturer.
 - 7.2** 100mm thick Isotherm thermal insulation fitted in-between trusses over ceilings.
 - 7.3** Smooth skimmed concrete soffits where applicable.
 - 7.4** Standard Donn T Shadowline Cornices to all ceilings.
- WINDOWS AND DOORS:**
- 8.1** All external doors to be Charcoal Epoxy Coated Aluminium by approved manufacturer.
 - 8.2** All apartment entrance doors to be solid timber single doors (Swainland).
 - 8.3** All internal door frames to be meranti as per Swainland catalogue.
 - 8.4** All internal doors to be flush panel hollow core timber as per Swainland catalogue.
 - 8.5** All windows to Charcoal Epoxy Coated Aluminium by approved manufacturer.
 - 8.6** Door and window sizes as per door schedule.
 - 8.7** Ironmongery as per developer's specification.
 - 8.8 Window sills:**
Interior: plastered & painted, except in kitchen and bathrooms where sills are tiled. Exterior: sopped plaster, primed and painted.
 - 8.9. Door handle mounting height:**
All handles at 900mm above FFL unless otherwise specified.
- GLAZING:**
- 9.3** All glazing to comply with safety regulations as set out in the National Building Regulations and to be free from bubbles, scratches or other imperfections.
 - 9.4** 6mm Safety glazing (to comply with SABS 1263) in all panels larger than 1m².
 - 9.5** 6.5mm Safety glazing in all glazed panels is less than 500mm above floor level.
 - 9.6** Thickness of glazing subject to wind to be in accordance with SABS 017.
 - 9.7** Frosted glasses to windows of bathrooms and toilets.

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No.	DATE		

ARCHITECT'S SIGNATURE

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SACPO REG. No. 379

PROJECT

SPERANTA APARTMENTS

PROJECT

Proposed new residential development on Erf 4634, Athens road, Table View for Nicka Beleggings

DESCRIPTION

NORTH & EAST ELEVATIONS

DATE	SCALE
2018-06-28	1:50 on A0, 1:100 on A2
SKETCH	PRELIMINARY
TENDER	COUNCIL
DRAWN	DRAWING
C BAMBERGER	1475-200
CHECKED	A
C BAMBERGER	



SOUTH ELEVATION 1:50



WEST ELEVATION 1:50

OUTLINE SPECIFICATIONS:

- BALUSTRADES & HANDRAILS :**
 10.3 All balustrades and handrails to comply to SANS 10400.
 10.4 1000mm High Stainless steel balustrades to all balconies.
 10.5 1000mm High galvanized steel handrails to Fire Escape staircases, 1000mm High Stainless Steel Balustrades to main Central Staircase.
 10.6 Balustrade & handrail design to developers specification, finished with approved primer and enamel paint.
- ELECTRICAL INSTALLATION :**
 12.3 Only registered Electricians will be permitted undertake the Electrical Installation.
 12.4 Municipal electrical supply:
 Electrical sub-contractor to determine what the electrical loads requirements are as per the proposed new layouts and make allowance for appropriate power supply. The contractor shall leave and submit all relevant forms and applications to the local authority.
 12.5 Certificate of compliance:
 The contract will not be considered as complete until a full certificate of compliance has been issued.
 12.6 Conduit, Fittings and Wiring:
 All conduits, fittings, etc. may be of PVC. Unless any other system is specified, pressed steel plugs and switch boxes shall be made from heavy gauge galvanized steel and knockouts shall be provided on all sides and back boxes. All conduits must be concealed in brickwork, floors and ceiling. A minimum space of 25mm must be allowed between pipes when laid in parallel form in concrete. Conduits should be laid orthogonal and as neatly as possible. Only SABS approved PVC insulated (600V grade) stranded copper wire shall be used for the entire installation. No joints or connectors will be allowed in the wiring system.
- ELECTRICAL ADDITIONAL :**
 13.1 Socket outlets & light switches:
 Mounting heights in general should be 300mm above finished floor level, 1000mm where built-in cabinets with worktops will be provided. Socket outlets for kitchen should be on its own circuit and not be looped to other rooms. All switches shall be Clippal S300 by Castres. All light switches should be of the same manufacturer as the sockets. Mounting heights in general should be 1000mm above finished floor level.
 13.2 Light fittings:
 Light fittings as per developers specification. Where low voltage light fittings are to be installed in concrete slabs, standard galvanized boxes shall be cast in the concrete. Down lighters to be supplied each with its own transformer. All dimmers to be rated not less than 1.5kw.
 13.3 Television installation:
 Allow for conduits and round box outlet for satellite from TV points. All TV points to have draw wires in all conduits.
 13.4 Electrical appliances:
 Fitted appliances such as stove & oven will be supplied by the developer and allowance should be made for each coupling and installation.
 13.5 Distribution boards:
 The distribution board shall be standard units with all necessary circuit breakers, flush mounted with wall. All circuit breakers and earth leakage units to be appropriate make for single phase. Contractor to supply and install a sleeve from outside to the main distribution board for the main supply cable. Allow for 20% spare capacity on all boards.
 13.6 Disposal Meter:
 Provision to be made for the supply and installation of a pre-paid electrical meter.
 13.7 Telkom:
 Allowance to be made for an telephone line connection point to each unit. Contractor to take with Telkom with regards to the provision of sleeves etc. for the connecting of Telkom lines into the building and to be respective outlet points.
- PLUMBING & DRAINAGE:**
 14.1 Regulations:
 All plumbing and drainage to be carried out by licensed plumbers and drain layers in strict accordance with the regulations of the authority. Contractor to check municipal approved drawings for specific conditions.
 14.2 Water Supply:
 At site handover position of water connection to be indicated. Class 2 copper piping to be used for all plumbing. A low off gate valve to be provided for future irrigation system.
 14.3 Sewer and drainage pipes and fittings shall be joined and sealed with butyl rubber rings. Soil, waste and vent pipes and fittings shall be solvent welded jointed.
 14.4 Pipes shall be hard drawn and half-hard pipes of the class stated. Class 0 (thin walled half-hard), Class 2 (half-hard) and Class 3 (heavy walled half-hard) pipes shall only be used with bends with inner and outer flanges. Fittings to copper waste, vent and anti-siphon pipes, capillary solder fittings and compression fittings shall be Colson Waterflex type. Capillary solder fittings comply with ISO 21916. Only compression fittings shall be used in walls or in ground. All plumbing pipes are to be concealed in walls and not visible from outside of building.
 14.5 Hot Water Cylinders:
 Hot water relocation system as per Engineers detail.
 14.6 Washing Machine and Dishwasher Drain:
 Allow cold water connection (recessed) with stop valve above counter, and recessed waste pipe opening under counter. Screw on stop end to be provided on cold-water connection outlet.
 14.7 Foul sewers:
 To be 110mm Ø uPVC pipes gullies etc. using cleaning easy system with rodding eyes and 2-way GI vents valves at head of each system. System to be tested before cover-up.
 14.8 Manhole covers:
 Standard Brestans du Plessis or similar approved manhole covers.
 14.9 Vent valves:
 To be built into walls: only exposing the outer section.
 14.10 Stairwell Casing gullies:
 Constructed of masonry, internal dimensions 300 x 300mm with 110mm brick walls on a concrete surface bed (75mm x 600mm x 600mm). Sand cement plaster finish internally. Cast iron manhole cover code G1275 installed.
 14.11 Fall boxes:
 Cast iron side outlet to all concrete roofs and balcony.
- SANITARY FITTINGS :**
 15.1 Water closets:
 Floor mounted close couple systems installed to manufacturer's specification.
 15.2 Basins:
 Walling basin with single mixer tap to developers specification.
 15.3 Sink:
 Double bowl drop in sink installed to manufacturer's specification. Sink mounted kitchen mixer tap to developers specification.
 15.4 Bath:
 White acrylic bath tub with single "Nix" type inlet to developers specification.
- IRONMONGERY:**
 16.1 Ironmongery selection to developers specification.
- BUILT-IN CUPBOARDS :**
 17.1 Bedroom Cupboards:
 New built-in cupboard as indicated on architect's plan. Floor to ceiling height cupboards to all bedrooms. Built-in cupboard finishes and ironmongery to developers specification.
 17.2 Kitchen Cupboards:
 Standard 900mm high floor units with 1200mm top cupboards to kitchens. Built-in cupboard finishes and ironmongery to developers specification.
 17.3 Granite tops to kitchen's counters to developers specification.
- PAINTING :**
 18.1 All surfaces to be prepared, sanded, primed and stopped before any paintwork will commence. Colour samples needs to be prepared and applied for developers approval.
 18.2 Exterior Masonry surfaces - Painted:
 Prepare and apply one coat of Plaster Primer thinned 20% with Mineral Turpentine. Finish with two coats of Exterior grade paint to developers specification.
 18.3 Interior Masonry walls - Painted:
 Prepare and apply one coat of Plaster Primer thinned 20% with Mineral Turpentine. Finish with two coats of builders grade PVA.
 18.4 Stairwell Ceilings, including all corners:
 Prepare and apply one coat of Plaster Primer thinned 20% with Mineral Turpentine. Finish with two coats of builders grade PVA.
 18.5 Woodwork - Painted: Prepare and apply one coat of Universal Undercoat. Finish with two coats of satin sheen enamel to developers specification.
 18.6 Balustrades & handrails - Painted:
 Prepare and apply one coat of approved metal primer. Finish with two coats of high gloss enamel to developers specification.
- FLOOR COVERING & FINISHES :**
 19.1 Carpet Floors:
 Approved carpet on grey underlay On 25mm 3:1 cement / sand screed on rough concrete slab.
 19.2 Tiles Floors:
 Tiles as indicated on 25mm 3:1 cement / sand screed on rough concrete slab.
 19.3 75 x 19mm SA pine skirting throughout to all internal floor areas, except in kitchen & bathrooms.

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REVISIONS		
No.	DATE	DESCRIPTION

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PROJECT
SPERANTA APARTMENTS

PROJECT
Proposed new residential development on Erf 4634, Athens road, Table View for Nicka Beleggings

DESCRIPTION
SOUTH & WEST ELEVATIONS

DATE	2018-06-28	SCALE	1:50 ON A0, 1:100 ON A2
SKETCH	X	PRELIMINARY	TENDER
DRAWN	C BAMBERGER	DRAWING	
CHECKED	C BAMBERGER	1475-201	